

## APPLYING FOR A PERMIT

When a development permit is required, the following need to be submitted as part of your application:

- Completed application form (available online at [laclabichedcounty.com](http://laclabichedcounty.com))
- Current certificate of title
- Landowner's consent if the site does not belong to you (signature on application form or letter of authorization)
- Site plan. This is a layout of your project, showing where the development will occur. Include property line setbacks.
- Elevations showing the maximum height of the proposed deck, fence or retaining wall
- Any other information the Development Authority (Lac La Biche County) considers necessary (see below)

Additional required details may include, but may not be limited to:

- A Roadside Development Permit issued by Alberta Transportation if your property is within 800 metres of a provincial highway.
- A geotechnical report if your property has a slope of more than 15 per cent.
- Grading plan

## SAFETY CODES PERMITS

Depending on the nature of your development, you may need to get Building, Gas, Electrical, Plumbing and Private Sewage Disposal System permits. These permits are *in addition* to the development permit.

**These permits make sure a development meets all necessary safety standards.**

The Inspections Group Inc. is responsible for safety codes inspections and permitting in Lac La Biche County. You can apply for these services online at [inspectionsgroup.com](http://inspectionsgroup.com).

## FOR MORE INFORMATION:

Please visit Lac La Biche County's website ([laclabichedcounty.com](http://laclabichedcounty.com)) and visit the Planning and Development page, under the tab marked "Our Services."

## DIRECT CONTACT INFO:

### Planning & Development

Phone: 780-623-1747 Fax: 780-623-2039  
[planning.development@laclabichedcounty.com](mailto:planning.development@laclabichedcounty.com)  
13422 Highway 881 (County Centre office)  
P.O. Box 1679

### The Inspections Group Inc.

Website: [inspectionsgroup.com](http://inspectionsgroup.com)  
Phone: 780-454-5048 Fax: 780-454-5222  
Toll-free: 1-866-554-5048  
12010-111 Avenue, Edmonton, AB T5G 0E6

### Alberta One Call

1-800-242-3447

### Alberta Transportation (Athabasca District Office)

780-675-2624

### Alberta Home Warranty

Website: [homewarranty.alberta.ca](http://homewarranty.alberta.ca)  
1-866-421-6929



## PLANNING & DEVELOPMENT SIMPLIFIED



## DECKS, FENCES, AND RETAINING WALLS

## DECKS, FENCES, RETAINING WALLS

Developing a deck or a patio on your property is a great way to add value, while fencing helps ensure privacy.

A retaining wall is a structure designed and built to hold soil in place, usually to change the slope of the ground on your property.

### Did you know?

- You **do not** need a development permit for a deck that is less than 0.6 m (2 feet) off the ground.
- You **do not** need a development permit to build steps to your dwelling.
- You **do not** need a development permit to replace deck boards. However, if you are adding to the deck's total area, raising it or covering it, you **do** need a permit.
- You **do not** need a development permit to build a fence that is less than 1 m (3.3 feet) tall in the front yard and/or 2 m (6.6 feet) tall in the side and rear yards.
- Barbed wire is not allowed on fences in residential districts.
- Retaining walls over 1.2 m (4 feet) in height must be designed and inspected by a professional engineer.
- In commercial and industrial districts, fencing is often a condition of development approval, to help ensure these areas are screened from residential properties.

## DECK REGULATIONS

Covered and/or enclosed decks are considered part of a property's main dwelling, and they must meet the property's minimum setback requirements. They must be located at least 1 m from a side property line, and they must be located at least 2 m from a rear property line.

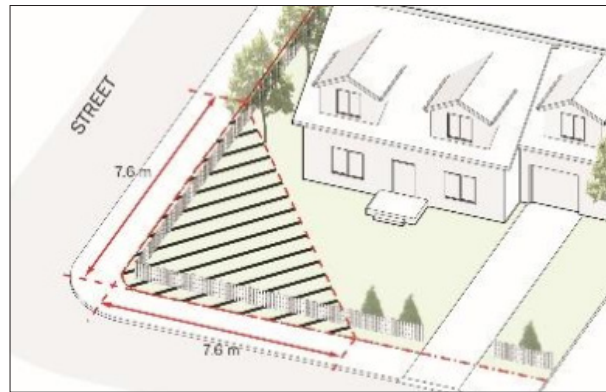
If a deck is two feet or higher off the ground, a building permit is required, and 36-inch handrails (with verticals spaced a maximum of four inches apart) are required. If a deck is more than five feet, 11 inches off the ground, then handrails must be at least 42 inches high.

## FENCE REGULATIONS

The height of a fence, wall or hedge is measured from the highest point of the neighbouring lane or public road. The maximum permitted fence, wall or hedge height depends on your property's location.

When a fence is built on top of a retaining wall, the combined height of the fence and retaining wall can't be taller than the maximum permitted fence height.

**Note: On corner lots, no structure or vegetation taller than 1 m (3.3 feet) is allowed in the "corner visibility triangle." This helps ensure drivers and pedestrians can see around corners. On most residential properties, the corner visibility triangle extends 7.6 m (66 feet) back along the property lines at the corner (see below).**



## RETAINING WALL REGULATIONS

A retaining wall changes the natural slope of your property, so a development permit is always required. If the retaining wall is taller than 1.2 m (4 feet) it will also require a Building Permit. Drawings must be designed and approved by a professional engineer.

All new retaining walls must not interfere with a lot's existing overland drainage patterns, and must not divert overland drainage onto neighbouring properties.

## FREQUENTLY ASKED QUESTIONS

**Do I need a permit if I am replacing an existing fence?** No, as long as you are building it on or within your property lines and it doesn't exceed the maximum permitted height.

**Do I need to build my fence with specific materials?** On residential properties, you can use any type of material except for barbed wire. On commercial and industrial properties, fencing should be designed to be maintenance-free for at least 15 years.

**Do I need a permit to install a gate?** No, our Land Use Bylaw does not regulate gates.

**Do I need a permit to build a barbed wire fence on or around my quarter section?** No, a development permit is not required if you are fencing an agricultural property.

**My neighbour built a retaining wall and now my property is flooding. What can I do?** The Land Use Bylaw regulates any drainage measures that negatively affect neighbouring properties. Contact our Planning & Development team to start the process of addressing this. Any control measures that need to be taken will be at the offending landowner's expense.

**Can I assume the neighbouring sidewalks or lanes or existing fences are my property lines?** No. The only way to accurately determine where your property lines are is to have a legal land survey done.

**I don't know where my property lines are. Can the County give me this information?** We can give you a survey plan that shows the dimensions of your lot. For exact property line locations, it is best to contact an Alberta Land Surveyor so you can have a legal survey completed (this may be in the form of a Real Property Report).